



# City of Austin

Founded by Congress, Republic of Texas, 1839  
Development Services Department  
One Texas Center, 505 Barton Springs Road  
P.O. Box 1088, Austin, Texas 78767

December 5, 2019

Margaret Shaw  
City of Austin – Economic Development Department  
301 W 2<sup>nd</sup> Street, Ste. 2030  
Austin, TX 78701

## **RE: 1215 Red River Street, Capitol View Corridor General Determination**

Dear Ms. Shaw,

The Capitol View Corridor Elevation Determination for 1215 Red River Street is now complete.

Capitol View Corridors (CVCs) were established by the Texas Legislature and Austin City Council to preserve views of the State Capitol Building by limiting the height of structures located within the corridors. State corridors are codified under Texas Government Code, Chapter 3151. The City corridors are listed in § 25-2, Appendix A. Further, the Capitol Dominance Overlay District, as described in § 25-2-161, was created to keep buildings within close proximity to the Capitol from dominating the structure.

The analysis area is comprised of one lot at 1215 Red River Street. Areas within CVCs are regulated by the maximum height permitted by the lesser of the base district maximum or the CVC corridor height (§ 25-2-642). **The site is zoned P, for which development standards are determined by the approved site plan; therefore, primary height restrictions for this site will come from the CVC plane.**

*The analysis area is intersected by CVC 26, The E 12<sup>th</sup> Street at I-35 Corridor.*

Four points on the site (Spot Elevation, PT 1-4) were identified where the CVC intersects corners or lot lines and at the boundary or furthest extent of the CVC. These points were analyzed to determine the maximum elevation at which a structure may be constructed at each respective point. This analysis was carried out by the Land Use Review Division in the Development Services Department and cross checked and sealed by the City Surveyor in the Public Works Department. The results of the analysis are as follows:

*Elevation values range from 553.50 to 574.62 Feet Above Mean Sea Level (AMSL).*

The exhibits that follow are a reference map, showing the analysis points with their elevation values; and a tabular data page with all points and their respective geographic coordinates and elevation values.

Please note the information with regard to location of the view corridors and the property boundary are based upon the City of Austin's Geographic Information System with an accuracy of approximately one foot. If development is proposed approaching maximum elevations, or the corridor boundary, a more detailed analysis performed by a Texas Registered Professional Land Surveyor (TRPLS) is recommended. If you have any questions about this determination, please feel free to contact me.

Sincerely,

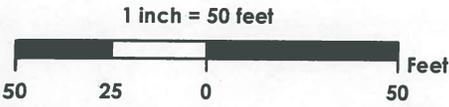


Anaiah M. Johnson, MPA  
Principal Planner, Land Use Review – Site Plan  
City of Austin Development Services Department  
512-974-2932  
Anaiah.Johnson@austintexas.gov

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The map is comprised of Geographic Information Systems (GIS) features maintained by the City of Austin, Travis County, State of Texas and other regulatory resources. This map provides geographic context of features coincident to or in proximity to the owner's site that are considered by the Land Use Reviewer. This map is not intended to provide an opinion to an individual or entity. This information is made available as a public service to the Owner and is intended to be used with independent professional judgment as to its applicability to the referenced project. The Owner and a Texas Licensed Professional Architect, Surveyor, Engineer, or other individual acting as a faithful agent for the owner shall take responsible charge of interpretations, computations, and results of using this information. The City expressly disclaims liability for errors, omissions, promises, or guarantees about the accuracy, completeness, or adequacy of the contents of this map in comparison to Texas Government Code, Title 11. State Symbols And Honors; Preservation, Subtitle B. Preservation, Chapter 3151. Preservation of View of State Capitol. No warranty of any kind, implied, expressed, or statutory, including but not limited to the warranties of non-infringement of third party rights, title, merchantability, or fitness for a particular purpose, is given with respect to the contents of these data and references.



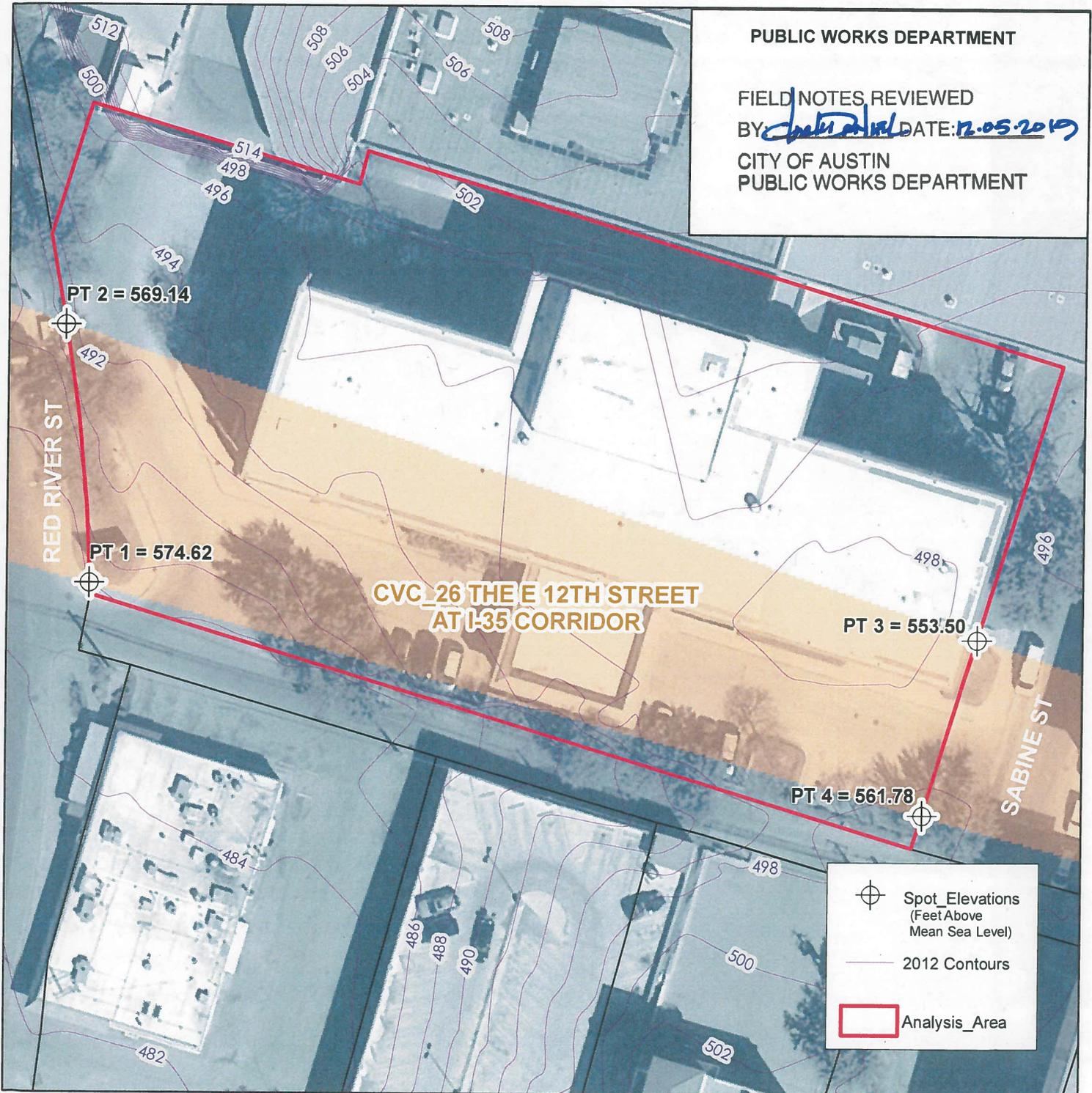
**PUBLIC WORKS DEPARTMENT**

FIELD NOTES REVIEWED

BY *[Signature]* DATE: 12.05.2019

CITY OF AUSTIN

PUBLIC WORKS DEPARTMENT



	Spot Elevations (Feet Above Mean Sea Level)
	2012 Contours
	Analysis_Area

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POINT NO	CVC_NO	CVC ELEVATION*	EASTING (X)**	NORTHING (Y)**
1	26	574.62	3,116,815.44	10,072,585.23
2	26	569.14	3,116,806.25	10,072,678.16
3	26	553.50	3,117,133.25	10,072,567.31
4	26	561.78	3,117,113.95	10,072,504.01

\* CVC Elevations are NGVD29 (Feet Above Mean Sea Level)

\*\* Coordinates are NAD83 Texas State Plane Grid (Central Zone)