

**GENERAL NOTES**

- Upon the completion of the proposed site improvements and prior to the release of the Certificate of Occupancy by the Development Review & Inspections Department, the Design Engineer shall certify in writing that the proposed project was constructed in conformance with the approved plans.
- The Contractor shall notify the Drainage Utility Department at 499-2550 at least 24 hours prior to beginning clearing operations.
- The Contractor shall call ONE CALL CENTER at 472-2822 for utility locations prior to any work in City easements or street right-of-way.
- All improvements shall be made in accordance with the released site plan. Any additional improvements will require a site plan amendment and approved from the Development Review and Inspections Department; minor corrections may be approved by the Building Plan and Review Section at the time of building permit.
- Approval of this site plan does not include Building Code and Fire Code approval nor Building Permit approval.
- All signs must comply with the requirements of the Land Development Code. (Section 13-2, Article VII)
- The owner is responsible for all cost of relocation or damage to utilities.
- Additional Electric Easements may be required at a later date.
- For construction within the right-of-way, a concrete permit is required.
- Water & Wastewater will be provided by the City of Austin.
- The Contractor and / or owner shall obtain and pay for all permits necessary for removal and / or construction of all project related items within the City or State right-of-way. All permits shall be obtained and all fees paid prior to commencement of work within City or State right-of-way.
- All temporary spoils and equipment storage areas shall have silt fence placed along the perimeter of the downslope side. Additional erosion / sedimentation controls may be required at the direction of the City's Drainage Utility Department Officer / Inspector. The Contractor shall work closely with all City personnel to insure adequacy of placement and maintenance of all erosion / sedimentation control devices. Only those construction entrances shown on the approved site plans shall be used for ingress and egress to and from the site. In the event that additional entrance locations are required to facilitate placement of materials, the Contractor shall construct a stabilized entrance in accordance with the City of Austin Standard details in order to comply with all provisions of the City's Land Development Code and Environmental Protection Ordinances.

**PROJECT SPECIFIC NOTES**

- WATERSHED STATUS: This project is located in the WALLER CREEK Watershed and is classified as URBAN.
- No slopes on this site exceed 15% grade.

THIS DEVELOPMENT SHALL COMPLY WITH THE LAND DEVELOPMENT CODE AND THE BRACKENRIDGE URBAN RENEWAL PLAN.

**EROSION CONTROL NOTES**

- The contractor shall install erosion/sedimentation controls and tree/natural area protective fencing prior to any site preparation work (clearing, grubbing or excavation).
- The placement of erosion/sedimentation controls shall be in accordance with the Environmental Criteria Manual and the approved Erosion and Sedimentation Control Plan.
- The Placement of tree/natural area protective fencing shall be in accordance with the City of Austin standard Notes for Tree and Natural Area Protection and the approved Grading/Tree and Natural Area Plan.
- A pre-construction conference shall be held on-site with the contractor, design Engineer/permit applicant and Environmental Inspector after installation of the erosion/sedimentation controls and tree/natural area protection measures and prior to beginning any site preparation work. The contractor shall notify the Environmental and Conservation Services Department, 499-2278, at least three days prior to the meeting date.
- Any significant variation in materials or locations of controls or fences from those shown on the approved plans must be approved by the reviewing Engineer, Environmental Specialist or City Arborist as appropriate.
- The contractor is required to inspect the controls and fences at weekly intervals and after significant rainfall events to insure that they are functioning properly. The person(s) responsible for maintenance of controls and fences shall immediately make any necessary repairs to damaged areas. Silt accumulation at controls must be removed when the depth reaches six (6) inches.
- Prior to final acceptance by the City, haul roads and waterway crossings constructed for temporary contractor access must be removed, accumulated sediment removed from the waterway and the area restored to the original grade and revegetated. All land clearing debris shall be disposed of in approved spoil disposal sites.
- Field revisions to the Erosion and Sedimentation Control Plan may be required by the Environmental Inspector during the course of construction to correct control inadequacies. Major revisions must be approved by the Planning and Development Department and the Environmental and Conservation Services Department.
- All work must stop if a void in the rock substrate is discovered which is: 5 inches long or longer; 6 inches in diameter or larger; blows air from within the substrate and/or consistently receives water during any rain event. At this time it is the responsibility of the Project Manager to immediately contact a City of Austin Environmental Inspector for further investigation.

- Permanent Erosion Control:
  - All disturbed areas shall be restored as noted below.
    - A minimum of four inches of topsoil shall be placed in all drainage channels (except rock) and between the curb and right-of-way line.
    - The seeding for permanent erosion control shall be applied over areas disturbed by construction as follows:
      - BROADCAST SEEDING:
        - From September 15 to March 1, seeding shall be with a combination of 2 pounds per 1000 SF of unhulled Bermuda and 7 pounds per 1000 SF of Winter rye with a purity of 95% with 90% germination.
        - From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 2 pounds per 1000 SF with a purity of 95% with 85% germination.
        - Fertilizer shall be pelleted or granular slow release with an analysis of 15-15-15 to be applied once at planting and once during the period of establishment at a rate of 1 pound per 1000 SF.
        - Mulch type used shall be hay, straw or mulch applied at a rate of 45 pounds per 1000 SF.
      - HYDRAULIC SEEDING:
        - From September 15 to March 1, seeding shall be with a combination of 1 pound per 1000SF of unhulled Bermuda and 7 pounds per 1000 SF of Winter rye with a purity of 95% with 90% germination.
        - From March 2 to September 14, seeding shall be with hulled Bermuda at a rate of 1 pound per 1000 SF with a purity of 95% with 85% germination.
        - Fertilizer shall be a water soluble fertilizer with an analysis of 15-15-15 at a rate of 1.5 pounds per 1000 SF.
        - Mulch type used shall be hay, straw or mulch applied at a rate of 45 pounds per 1000 SF, with soil tackifier at a rate of 1.4 pounds per 1000 SF.
        - The plated area shall be irrigated or sprinkled in a manner that will not erode the topsoil, but will sufficiently soak the soil to a depth of six inches. The irrigation shall occur at ten-day intervals during the first two months. Rainfall occurrences of 1/2 inch or more shall postpone the watering scheduled for one week.
        - Restoration shall be acceptable when the grass has grown at least 1 1/2 inches high with 95% coverage, provided no bare spots larger than 16 square feet exist.

- When required, native grass seeding shall comply with requirements of the City of Austin Environmental Criteria Manual.
- Developer Information:
 

Owner: HEALTHSOUTH REHABILITATION CORPORATION  
 #TWO PERIMETER PARK SOUTH  
 BIRMINGHAM, ALABAMA 35243  
 ATTENTION: GREG CROCKER  
 (205) 970-5676

Owner's representative responsible for plans alterations:  
 GRIFFIN ENGINEERING GROUP, INC. Phone#: (512) 836-3113

Person or firm responsible for erosion/sedimentation control maintenance:  
 CONTRACTOR Phone#:

Person of firm responsible for tree/natural area protection Maintenance:  
 CONTRACTOR Phone#:

- The contractor shall not dispose of surplus excavated material from the site without notifying the Environmental and Conservation Services Department at 499-2278 at least 48 hours prior with the location and a copy of the permit issued to receive the material.
- ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER WHO PREPARED THEM. IN REVIEWING THESE PLANS, THE CITY OF AUSTIN MUST RELY UPON THE ADEQUACY OF THE WORK OF THE DESIGN ENGINEER.

SITE PLAN SUBMITTAL

FOR

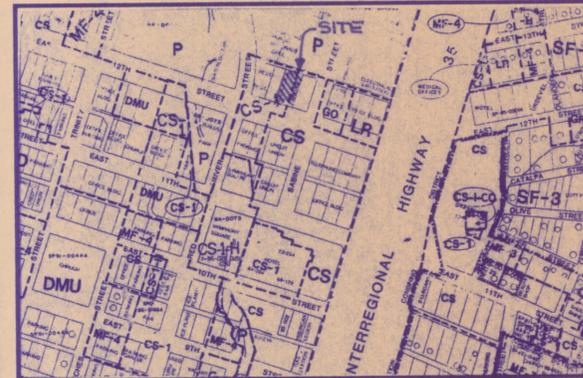
HEALTHSOUTH  
REHABILITATION HOSPITAL  
PARKING DECK ADDITION

608 EAST 12th STREET  
AUSTIN, TEXAS 78705



PROJECT LOCATION MAP

N.T.S.



LAND USE MAP

N.T.S.

REVISIONS / CORRECTIONS							
No.	Description	Revise (R) Add (A) Sheet No.'s	Total # Sheets in Plan Set	Net Change Imp. Cover	Site Imp. Cover	% Site Imp. Cover	Approved/Date

ALL RESPONSIBILITY FOR THE ADEQUACY OF THESE PLANS REMAINS WITH THE ENGINEER. APPROVAL OF THESE PLANS BY THE CITY OF AUSTIN DOES NOT REMOVE THESE RESPONSIBILITIES.

APPROVAL BY THE WATER & WASTEWATER UTILITY APPLIES ONLY TO FACILITIES WITHIN PUBLIC STREETS OR PUBLIC UTILITY EASEMENTS. ALL OTHER WATER & WASTEWATER FACILITIES INSIDE PRIVATE PROPERTY ARE UNDER THE JURISDICTION OF BUILDING INSPECTION.

**SEQUENCE OF CONSTRUCTION**

- PLACE EROSION & SEDIMENTATION CONTROLS & TREE PROTECTION AS SHOWN.
- SCHEDULE PRE-CONSTRUCTION CONFERENCE.
- PERFORM CLEARING, ROUGH GRADING & UTILITY CONSTRUCTION.
- CONSTRUCT GARAGE.
- PERFORM PERMANENT RESTORATION.
- PRIOR TO CALLING FOR FINAL ENGINEERING INSPECTION, A SEALED LETTER OF CONCURRENCE SHALL BE PROVIDED TO E.C.S.D. FROM A LICENSED PROFESSIONAL ENGINEER.
- REMOVE EROSION & SEDIMENTATION CONTROLS & TREE PROTECTION FENCING.

**SITE DATA**

OWNER: HEALTHSOUTH REHABILITATION CORPORATION  
 #TWO PERIMETER PARK SOUTH  
 BIRMINGHAM, ALABAMA 35243  
 ATTENTION: GREG CROCKER  
 (205) 970-5676

SUBMITTAL DATE: JUNE 19, 1997

LEGAL DESCRIPTION: LOT 1, BLOCK 143 A RESUBDIVISION OF LOT 3, AND A PORTION OF LOT 2, BLOCK 143, ORIGINAL CITY OF AUSTIN TRAVIS COUNTY, TEXAS BOOK , PAGE

LIMITS OF CONSTRUCTION: 0.410 ACRES = 17,870 S.F.

**INDEX TO DRAWINGS**

SHEET 1 OF 6	COVER SHEET, NOTES
SHEET 2 OF 6	EXISTING SITE PLAN
SHEET 3 OF 6	PROPOSED SITE PLAN
SHEET 4 OF 6	SITE GRADING, EROSION CONTROL & TREE PROTECTION PLAN
SHEET 5 OF 6	DETAILS
SHEET 6 OF 6	ELEVATIONS

**COVER SHEET NOTES**

SHEET NO. 1 OF 6



APPROVED BY: *Doris Davis* 1-27-98  
 DEVELOPMENT REVIEW & INSPECTIONS DEPT. DATE  
 SP - 97-0233D  
 SITE DEVELOPMENT PERMIT NO.

**GRIFFIN ENGINEERING GROUP, INC.**

11711 NORTH LAMAR BLVD., AUSTIN, TEXAS 78753 (512) 836-3113



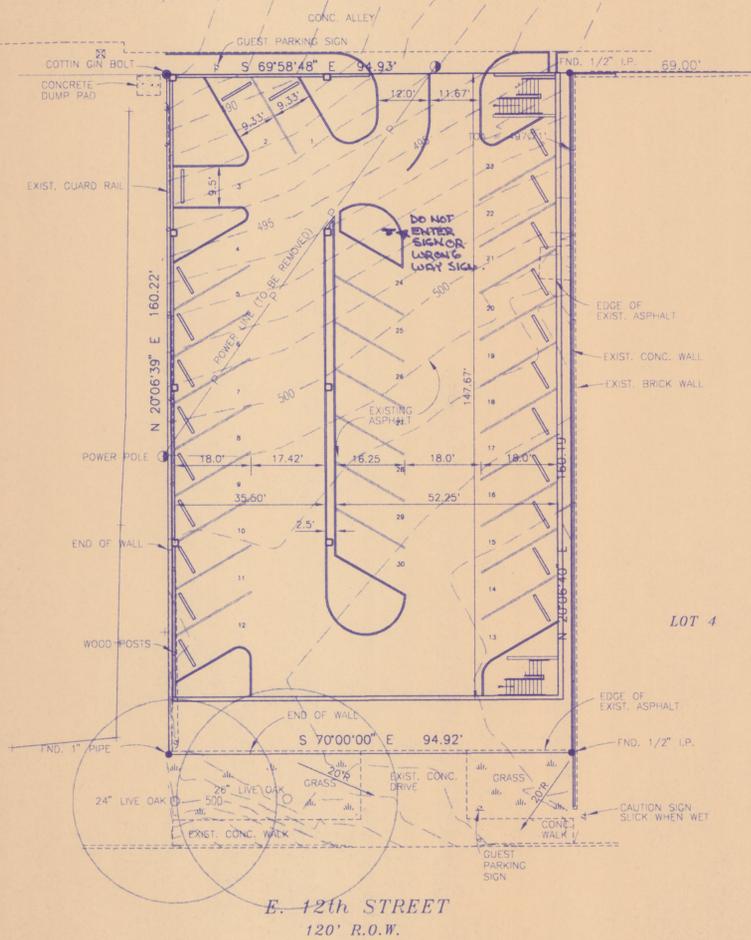
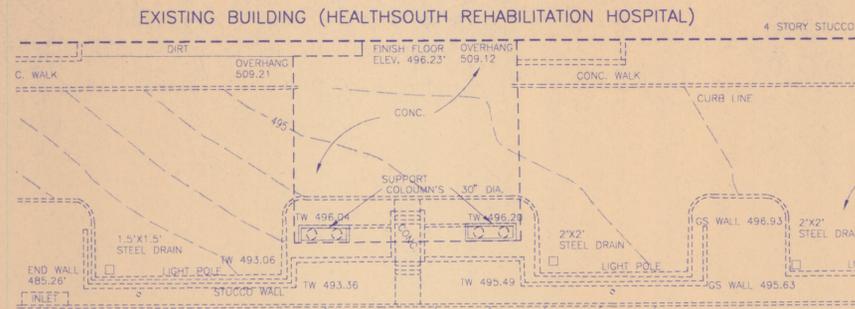
SCALE: 1" = 20'



**LEGEND**

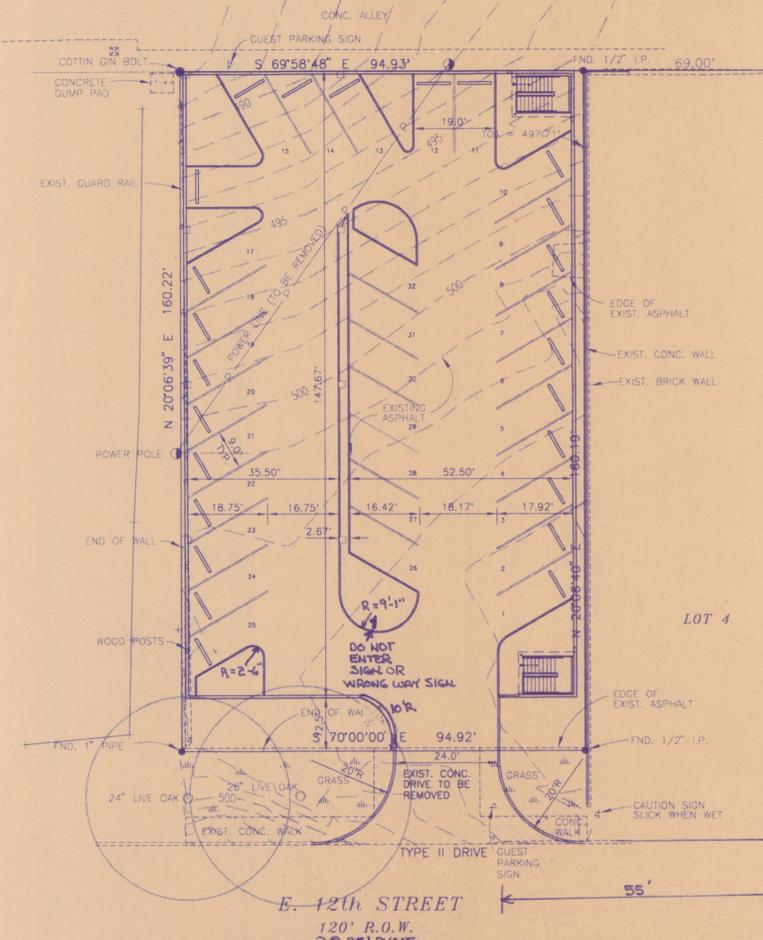
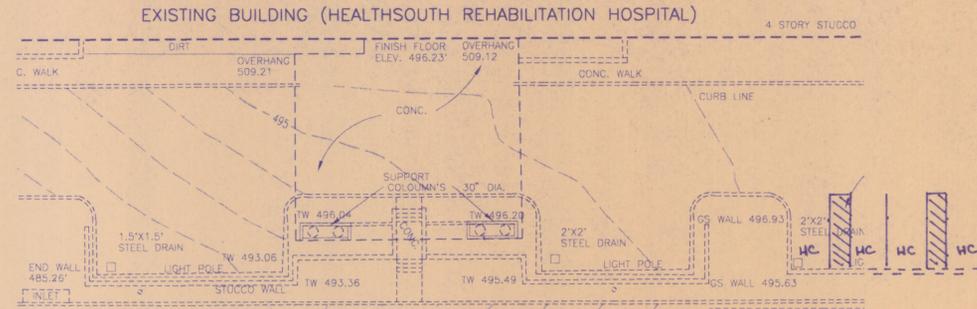
	EXISTING CONTOURS		PROPOSED CONTOURS
	EXISTING UTILITIES		ELECTRICAL
	GAS		STORM SEWER
	WATER		WASTEWATER
	TREE TO REMAIN		TREE TO BE REMOVED
	TREE PROTECTION FENCE		SILT FENCE
	TRIANGULAR FILTER DIKE		STABILIZED CONSTRUCTION ENTRANCE
	LIMITS OF CONSTRUCTION		1/2" REBAR FND.
	ELEC. MANHOLE		ELEC. UTILITY
	FIRE HYDRANT		WATER METER
	WATER VALVE		POWER POLE
	LIGHT POLE		GUY WIRE
	TELEPHONE UTILITY		

SURVEY OF LOT 3 AND A PORTION OF LOT 2, BLOCK 143 ORIGINAL CITY OF AUSTIN TRAVIS COUNTY, TEXAS



LOWER DECK PLAN

SURVEY OF LOT 3 AND A PORTION OF LOT 2, BLOCK 143 ORIGINAL CITY OF AUSTIN TRAVIS COUNTY, TEXAS



UPPER DECK PLAN

NOTES:

1) ALL SLOPES ON THIS SITE ARE LESS THAN 15% GRADE.

**SITE CALCULATIONS** 17,870 SF 0.410 A  
 LIMITS OF CONSTRUCTION = 10,240 S.F. = 0.442 AC.  
 TOTAL SITE AREA = 15,202 S.F. = 0.349 AC.  
 ZONING - "CS-1" & "CS"  
 IMPERVIOUS COVER ALLOWED  
 "CS-1", "CS" ZONING = 95% = 14,442 S.F.  
 PROPOSED IMPERVIOUS COVER (88.9%) = 13,460 S.F.  
 BUILDING COVERAGE = 89.4%  
 PARKING : 55 REGULAR SPACES  
 2 HANDICAPPED

HYDROLOGICAL DATA

EXISTING IMPERVIOUS COVER = 100%  
 PROPOSED IMPERVIOUS COVER = 88.9%  
 NO INCREASE IN FLOWS FROM EXISTING TO DEVELOPED.

SITE = 0.394 (EXIST. & DEVEL.)  
 $t_c = 5 \text{ MIN.}$   
 $L_2 = 6.5$      $L_{25} = 9.8$   
 $L_{10} = 8.8$      $L_{100} = 11.9$

	EXIST.	DEV.
$C_2$	0.73	0.70
$C_{10}$	0.81	0.78
$C_{25}$	0.86	0.83
$C_{100}$	0.95	0.92
$Q_2$	1.66	1.59
$Q_{10}$	2.49	2.40
$Q_{25}$	2.94	2.84
$Q_{100}$	3.95	3.81

HEALTHSOUTH REHABILITATION HOSPITAL  
 PARKING DECK ADDITION

608 EAST 12th STREET

SITE PLAN

SHEET NO. 3 OF 6

SP-97-0233D

SITE DEVELOPMENT PERMIT NO.



Deydo Davis 1-27-99  
 D.R. & I. DATE

CONTRACTOR'S RESPONSIBILITY  
 THE LOCATION OF EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES. PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF THE BUILDING(S) AND OTHER SITE COMPONENTS AND THEIR INTERRELATIONSHIP WITH THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.

REVISIONS

NO.	REVISION DESCRIPTION	APPROVED BY	DATE

GRIFFIN ENGINEERING GROUP, INC.

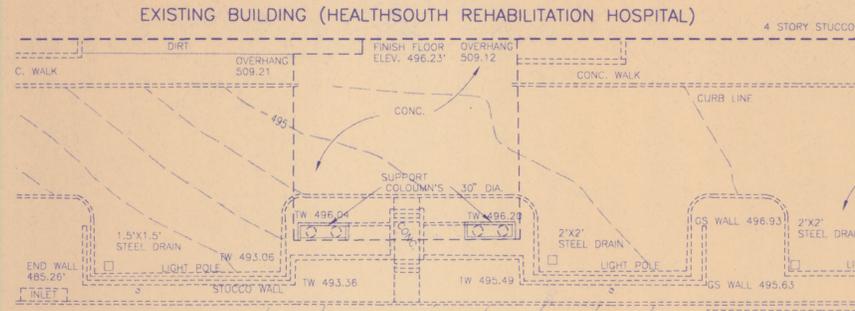
11711 NORTH LAMAR BLVD., AUSTIN, TEXAS 78753 (512) 856-3113



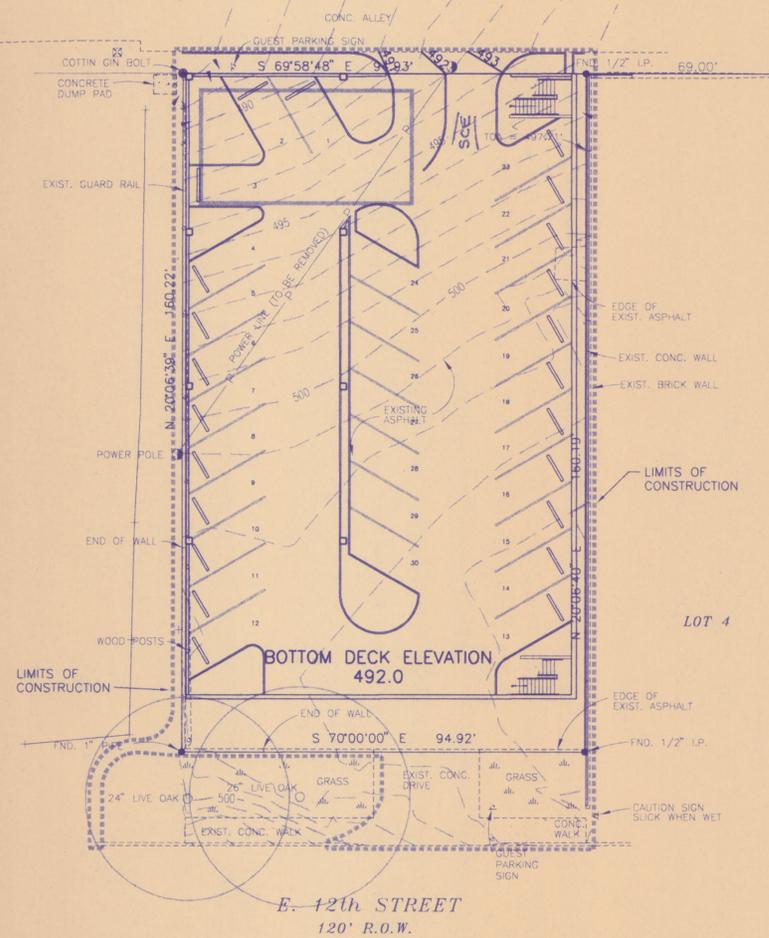
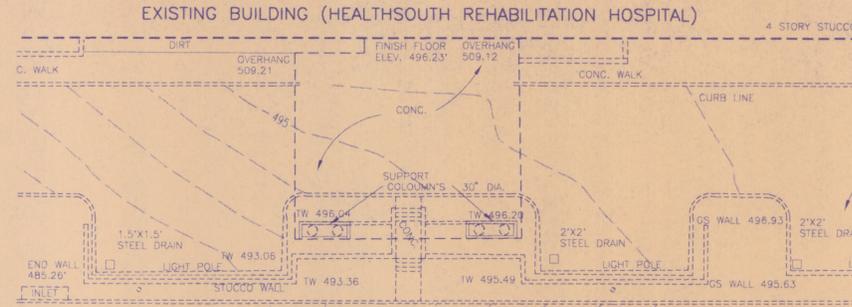
LEGEND

- 461 EXISTING CONTOURS
- 61 PROPOSED CONTOURS
- EXISTING UTILITIES
  - E - ELECTRICAL
  - G - GAS
  - ST - STORM SEWER
  - W - WATER
  - WW - WASTEWATER
- TREE TO REMAIN
- TREE TO BE REMOVED
- TREE PROTECTION FENCE
- SILT FENCE
- TFD TRIANGULAR FILTER DIKE
- S.C.E. STABILIZED CONSTRUCTION ENTRANCE
- LIMITS OF CONSTRUCTION
- 1/2" REBAR FND. ○ ELEC. MANHOLE
- △ P.K. NAIL FND. □ ELEC. UTILITY
- ⊕ FIRE HYDRANT □ WATER METER
- ⊗ WATER VALVE ⊕ POWER POLE
- ⊙ LIGHT POLE → GUY WIRE
- TELEPHONE UTILITY

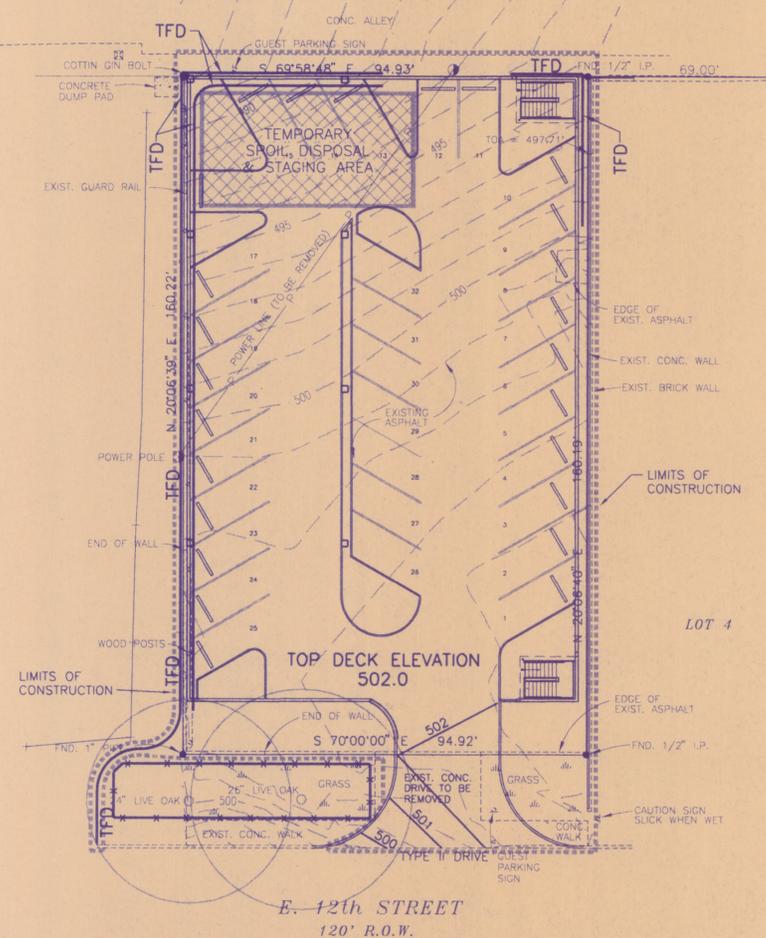
SURVEY OF LOT 3 AND A PORTION OF LOT 2, BLOCK 143 ORIGINAL CITY OF AUSTIN TRAVIS COUNTY, TEXAS



SURVEY OF LOT 3 AND A PORTION OF LOT 2, BLOCK 143 ORIGINAL CITY OF AUSTIN TRAVIS COUNTY, TEXAS



LOWER DECK PLAN



UPPER DECK PLAN

NOTE: TRIANGULAR FILTER DIKE ON PAVED SURFACES TO BE WEIGHTED DOWN WITH SANDBAGS EVERY TWO FEET ON FLAP.

HEALTHSOUTH REHABILITATION HOSPITAL PARKING DECK ADDITION

608 EAST 12th STREET

SITE GRADING, EROSION CONTROL, AND TREE PROTECTION PLAN

Dejda Owen 1-27-98  
D.R.#1 DATE

CONTRACTOR'S RESPONSIBILITY  
THE LOCATION OF EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UTILITIES. PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND LOCATIONS OF THE BUILDING(S) AND OTHER SITE COMPONENTS AND THEIR INTERRELATIONSHIP WITH THE BUILDING SITE, AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS.

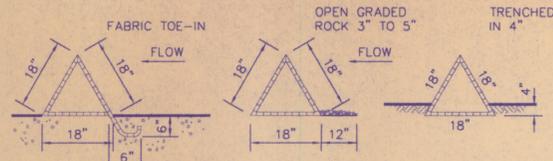


SHEET NO. 4 OF 6

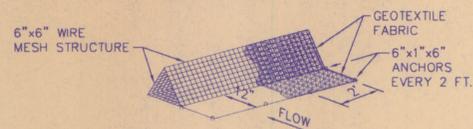
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SITE DEVELOPMENT PERMIT NO.

REVISIONS			
NO.	REVISION DESCRIPTION	APPROVED BY	DATE

GRIFFIN ENGINEERING GROUP, INC.



INSTALLATION DETAIL  
 OPTIONS: 1) TOE-IN 6" MIN.  
 2) WEIGHTED WITH 3"-5" OPEN GRADED ROCK  
 3) TRENCHED IN 4"

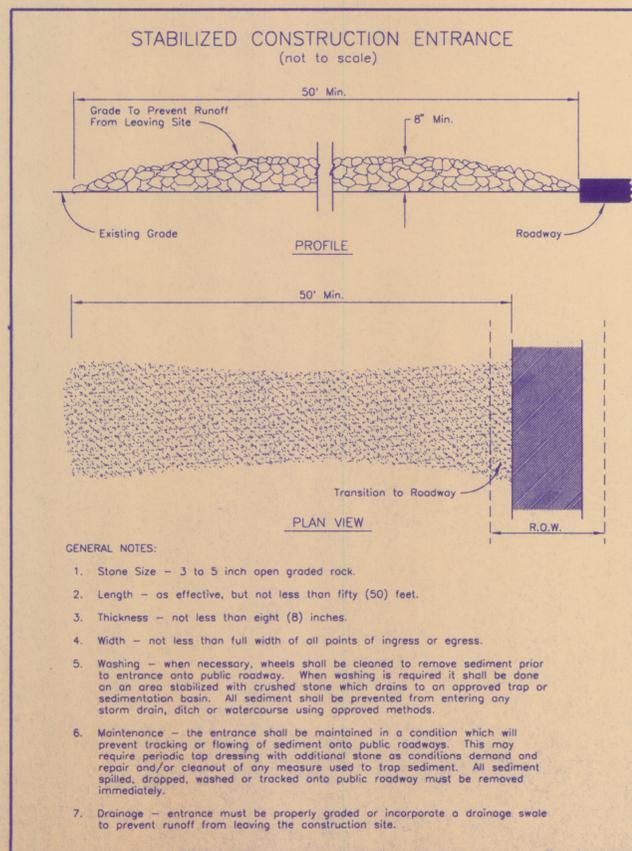


GENERAL NOTES:

- DIKES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT DIKE.
- THE FABRIC COVER AND SKIRT SHALL BE A CONTINUOUS WRAPPING OF GEOTEXTILE. THE SKIRT SHALL BE A CONTINUOUS EXTENSION OF THE FABRIC ON THE UPSTREAM FACE.
- THE SKIRT SHALL BE WEIGHTED WITH A CONTINUOUS LAYER OF 3"-5" OPEN GRADED ROCK, OR TOED-IN 6" WITH MECHANICALLY COMPACTED MATERIAL. OTHERWISE, THE ENTIRE STRUCTURE SHALL BE TRENCHED IN 4 INCHES.
- DIKES AND SKIRT SHALL BE SECURELY ANCHORED IN PLACE USING 6 INCH WIRE STAPLES ON 2-FOOT CENTERS ON BOTH EDGES AND SKIRT, OR STAKED USING 3/8" DIAMETER REBAR WITH TEE ENDS.
- FILTER MATERIAL SHALL BE LAPPED OVER ENDS 6" TO COVER DIKE TO DIKE JOINTS. JOINTS SHALL BE FASTENED WITH GALVANIZED SHOAT RINGS.
- THE DIKE STRUCTURE SHALL BE 6 GA. 6"x6" WIRE MESH, 18" ON A SIDE.
- INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED BY THE CONTRACTOR.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES, AND DISPOSED OF IN A MANNER WHICH WILL NOT CAUSE ADDITIONAL SILTATION.
- AFTER THE DEVELOPMENT SITE IS COMPLETELY STABILIZED, THE DIKES AND ANY REMAINING SILT SHALL BE REMOVED. SILT SHALL BE DISPOSED OF AS INDICATED IN 8. ABOVE.

STANDARD SYMBOL — IFD —

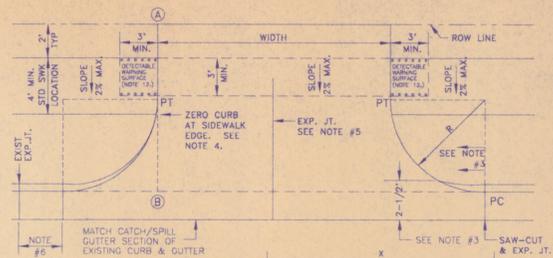
TRIANGULAR FILTER DIKE



GENERAL NOTES:

- Stone Size - 3 to 5 inch open graded rock.
- Length - as effective, but not less than fifty (50) feet.
- Thickness - not less than eight (8) inches.
- Width - not less than full width of all points of ingress or egress.
- Washing - when necessary, wheels shall be cleaned to remove sediment prior to entrance onto public roadway. When washing is required it shall be done on an area stabilized with crushed stone which drains to an approved trap or sedimentation basin. All sediment shall be prevented from entering any storm drain, ditch or watercourse using approved methods.
- Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public roadways. This may require periodic top dressing with additional stone as conditions demand and repair any/cleanout of any measure used to trap sediment. All sediment spilled, dropped, washed or tracked onto public roadway must be removed immediately.
- Drainage - entrance must be properly graded or incorporate a drainage swale to prevent runoff from leaving the construction site.

STABILIZED CONSTRUCTION ENTRANCE



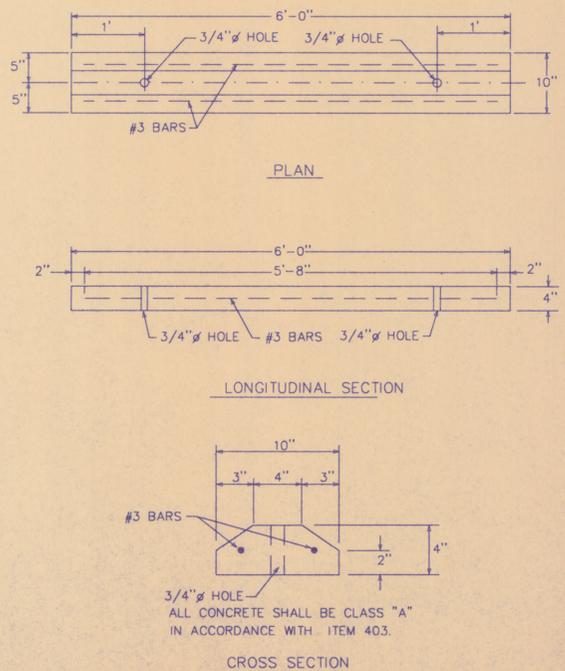
NOTES:

- ALL TYPE II DRIVEWAYS SHALL HAVE RADIUS ENDS.
- DRIVEWAY WIDTHS AND RADIUS DIMENSIONS, ONE/TWO WAY TRAVEL REQUIREMENTS, AND GEOMETRIC LAYOUT ARE HIGHLY VARIABLE SUBJECT TO SITE SPECIFIC CONDITIONS AND REQUIREMENTS. SEE TRANSPORTATION CRITERIA MANUAL, SECTION 5 DRIVEWAYS.
- THE DRIVEWAY EDGE SHALL BE SMOOTHLY TRANSITIONED INTO THE SIDEWALK BEGINNING AT THE RADIUS PC LINE.
- "ZERO" CURB AT PT OR SIDEWALK EDGE - WHICHEVER IS ENCOUNTERED FIRST.
- PLACE AN EXPANSION JOINT DOWN THE CENTER OF DRIVEWAYS WIDER THAN 30 FEET.
- IF DIMENSION IS LESS THAN FIVE FEET, REMOVE CURB & GUTTER TO EXISTING EXPANSION JOINT AND POUR MONOLITHICALLY WITH DRIVEWAY.
- IF THE BASE IS OVER-EXCAVATED WHERE THE CURB & GUTTER WAS REMOVED, BACKFILL WITH CONCRETE MONOLITHICALLY WITH THE DRIVEWAY.
- TYPE II DRIVEWAYS ARE TO BE LOCATED NO CLOSER TO THE CORNER OF INTERSECTING RIGHTS OF WAY THAN 50 PERCENT OF PARCEL FRONTAGE OR 100 FEET, WHICHEVER IS LESS.
- DRIVEWAYS SHALL NOT BE CONSTRUCTED WITHIN THE CURB RETURN OF A STREET INTERSECTION.
- WHILE THE PROPERTY OWNER REMAINS RESPONSIBLE FOR GRADE BREAKS WITHIN PRIVATE PROPERTY, THE FIRE DEPARTMENT SHOULD BE CONSULTED WHERE THE DRIVEWAY IS ESSENTIAL TO EMERGENCY VEHICLE ACCESS AND 10% IS GREATER THAN 15%. 70" PLUS 1" SHOULD NOT EXCEED 15%.
- USE 1/2" ASPHALT BOARD OR OTHER APPROVED MATERIAL FOR CURB & GUTTER EXPANSION JOINTS, SIDEWALKS, AT THE ROW LINE, AND AT MIDTHW (NOTE 5).
- DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A BOTTOM DIAMETER OF NOMINAL 0.9 IN. AND A TOP DIAMETER OF NOMINAL 0.75 IN. AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN. AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT (RE: ADA SECTION 4.29.2). MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
- SEE TRANSPORTATION CRITERIA MANUAL SECTION 5 FOR OTHER DRIVEWAY REQUIREMENTS.

USE	THICKNESS	REINFORCEMENT
RESIDENTIAL TYPE II DRIVEWAYS	6" MIN.	#3 @ 18" OR 6" x 6" x W3.0
DRIVEWAYS FOR PASSENGER VEHICLE PARKING LOTS	7" MIN.	#3 @ 12" OR 6" x 6" x W5.0
ALL OTHERS	7" MIN.	#3 @ 12" OR 6" x 6" x W5.0



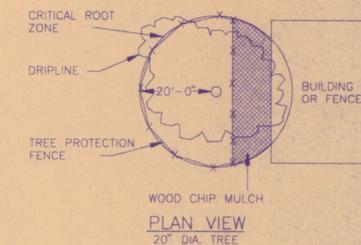
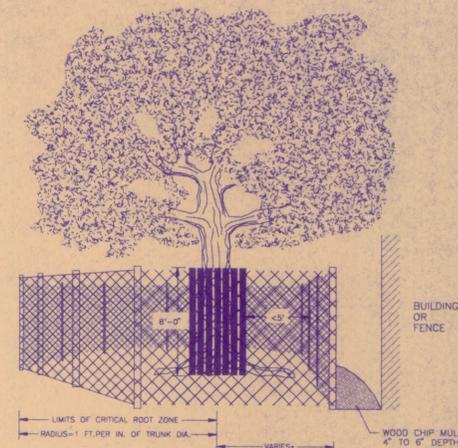
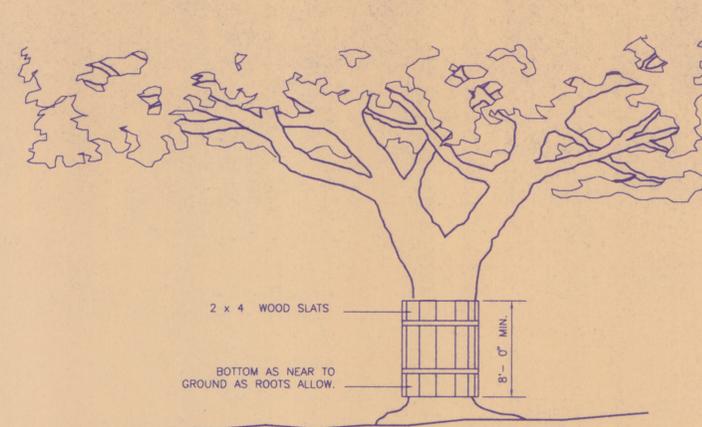
TYPE II DRIVEWAY DETAIL



ALL CONCRETE SHALL BE CLASS "A" IN ACCORDANCE WITH ITEM 403.

CROSS SECTION

WHEEL STOP DETAIL



TREE PROTECTION FENCE

- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING.
- PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO CITY OF AUSTIN STANDARDS FOR TREE PROTECTION.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE), FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:  
 A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS;  
 B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST;  
 C. WOUNDS TO EXPOSED ROOTS, TRUNK OR LIMBS BY MECHANICAL EQUIPMENT;  
 D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:  
 A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED;  
 B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE);  
 C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING;  
 D. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST AT 499-6486 TO DISCUSS ALTERNATIVES.

SPECIAL NOTE: FOR THE PROTECTION OF NATURAL AREAS, NO EXCEPTIONS TO INSTALLING FENCES AT THE LIMIT OF CONSTRUCTION LINE WILL BE PERMITTED.

WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FT (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.

8. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.

9. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.

10. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF LANDSCAPE IRRIGATION SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.

11. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.

12. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE OCCURS (RIPPING OF BRANCHES, ETC.).

13. ALL FINISHED PRUNING SHALL BE DONE ACCORDING TO RECOGNIZED, APPROVED STANDARDS OF THE INDUSTRY (REFERENCE THE NATIONAL ARBORIST ASSOCIATION PRUNING STANDARDS FOR SHADE TREES AVAILABLE ON REQUEST FROM THE CITY ARBORIST).

14. DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

STANDARD TREE PROTECTION NOTES

*Derek J. Griffin*  
 D.R.B.I. 1-27-96  
 DATE

REVISIONS			
NO.	REVISION DESCRIPTION	APPROVED BY	DATE

HEALTHSOUTH  
 REHABILITATION HOSPITAL  
 PARKING DECK ADDITION

608 EAST 12th STREET

DETAILS

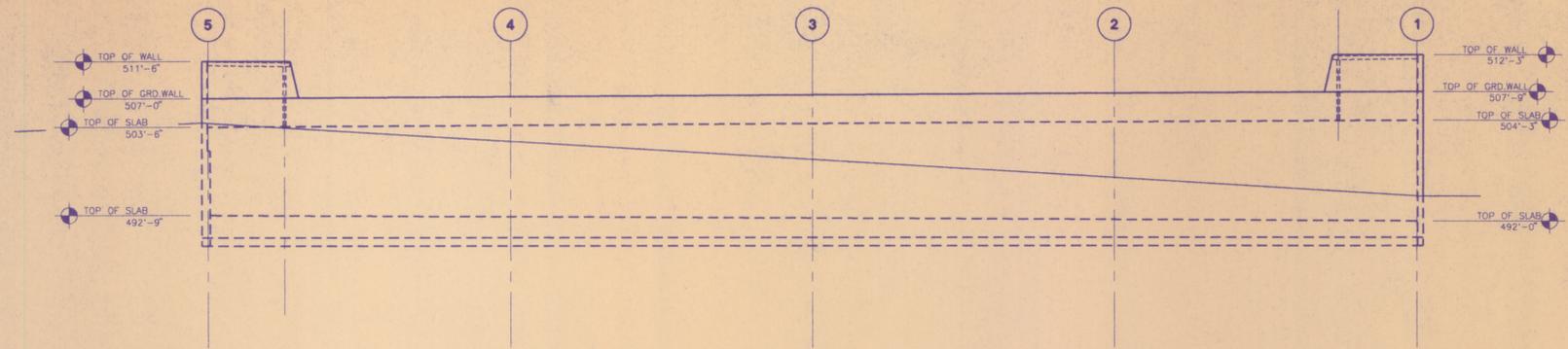
SHEET NO. 5 OF 6

SP-97-0233D

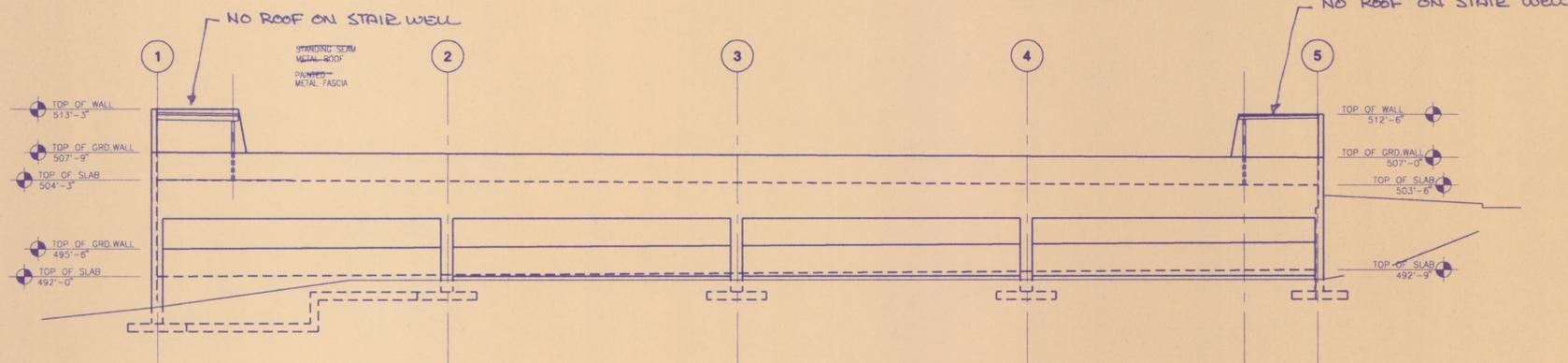
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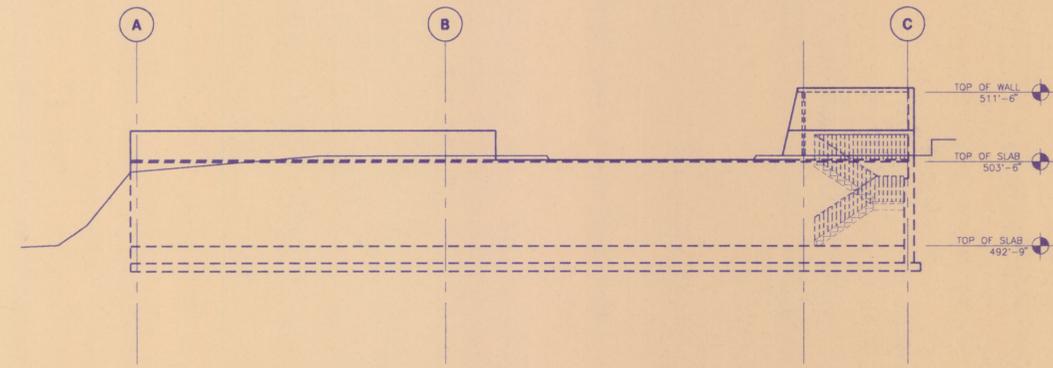
GRIFFIN  
 ENGINEERING GROUP, INC.



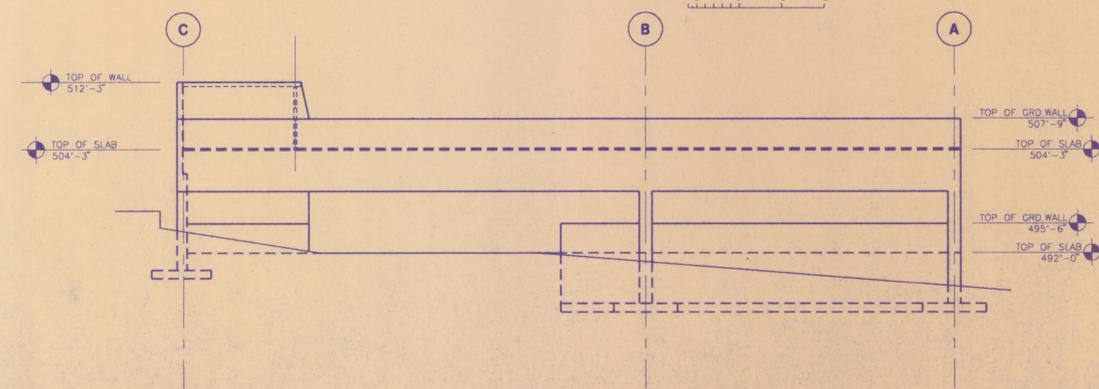
1 EAST ELEVATION



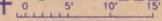
2 WEST ELEVATION



3 SOUTH ELEVATION



4 NORTH ELEVATION



*Deydo Amis* 1-27-98  
D.R.#1 DATE

REVISIONS			
NO.	REVISION DESCRIPTION	APPROVED BY	DATE

**HEALTHSOUTH**  
REHABILITATION HOSPITAL  
PARKING DECK ADDITION  
608 EAST 12th STREET

ELEVATIONS



SHEET NO. 6 OF 6  
SP-97-0233D  
SITE DEVELOPMENT PERMIT NO.

**GRIFFIN**  
**ENGINEERING GROUP, INC.**